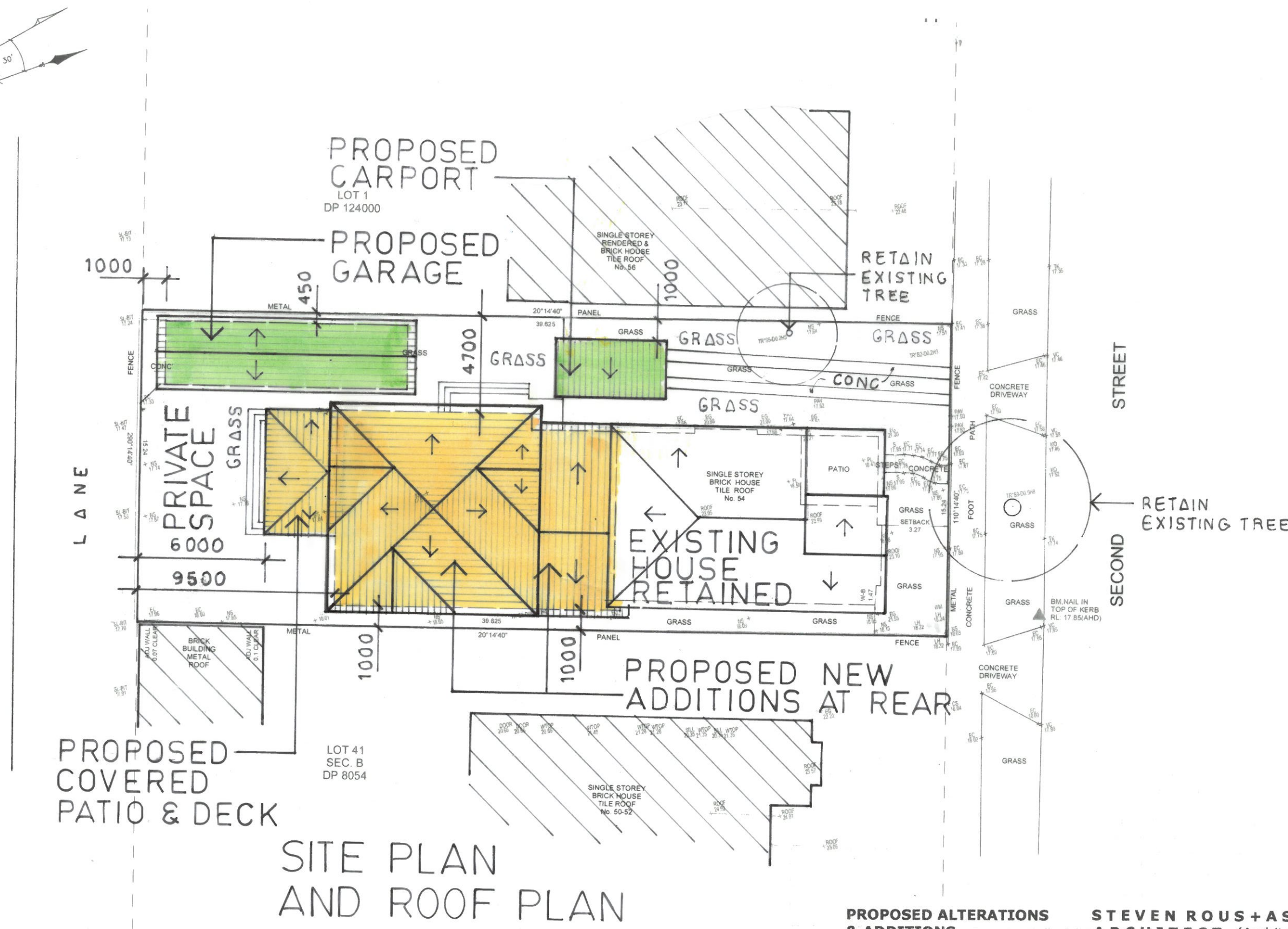




LEGEND:	
AHD	AUSTRALIAN HEIGHT DATUM
BM	BENCH MARK
CL	CENTER LINE
CONC	CONCRETE
CS	CONCRETE SURFACE
D/H/S	DIAMETER/HEIGHT/SPREAD
D	DOOR
EC	EDGE OF CONCRETE
EG	EAVE & GUTTER
FL	FLOOR LEVEL
GDN	GARDEN
INV	INVERT LEVEL
KO	KERB OUTLET
NS	NATURAL SURFACE
PAV	PAVERS
PP	POWER POLE
RL	REDUCED LEVEL
S	STEPS
SL	SURFACE LEVEL
SILL	WINDOW SILL
TK	TOP OF KERB
TOW/TW	TOP OF WALL
VC	VEHICLE CROSSING
W-B	WALL TO BOUNDARY
WTOP	TOP OF WINDOW



PROPOSED ALTERATIONS & ADDITIONS	STEVEN ROUS + ASSOCIATES ARCHITECT (Architect Reg. No.7087)
54 SECOND STREET, ASHBURY NSW	P.O. BOX 467, SUMMER HILL NSW 2130 tele: 02 9798 2120 mob: 0413 256 368 email: architects@stevenrousassociates.com.au
For Mr & Mrs Fletcher	
DEVELOPMENT APPLICATION	Date: 15.07.22
(@ COPYRIGHT)	Scale: 1:200
	Dwg. No. DA 01

LANE

15 240

GARAGE

DEMOLISH
GARAGE &
ASSOCIATED
CONCRETE
PAVING EXTENT
SHOWN HATCHED

DEMOLISH
CARPORT
SHOWN HATCHED

DEMOLISH
KITCHEN,
LAUNDRY &
WC REAR
ADDITIONS
SHOWN
HATCHED

39 625

CARPORT

FORM NEW
WINDOW OPENINGS

RETAIN
TREE

REMOVE
SMALL
TREE

REMOVE
PAVING

RETAIN FENCE & GATES

STREET

L'DRY

DINING

LOUNGE

PORCH

RETAIN
PATH &
STEP

15 240

BEDRM

BEDRM

BEDRM

No. 54

39 625

RETAIN
EXISTING HOUSE

APPROX. 12 850
CHECK ON SITE

EXISTING FLOOR PLAN
AND DEMOLITION PLAN

HOUSE
No. 50-52

PROPOSED ALTERATIONS
& ADDITIONS

54 SECOND STREET,
ASHBURY NSW

For Mr & Mrs Fletcher

DEVELOPMENT APPLICATION
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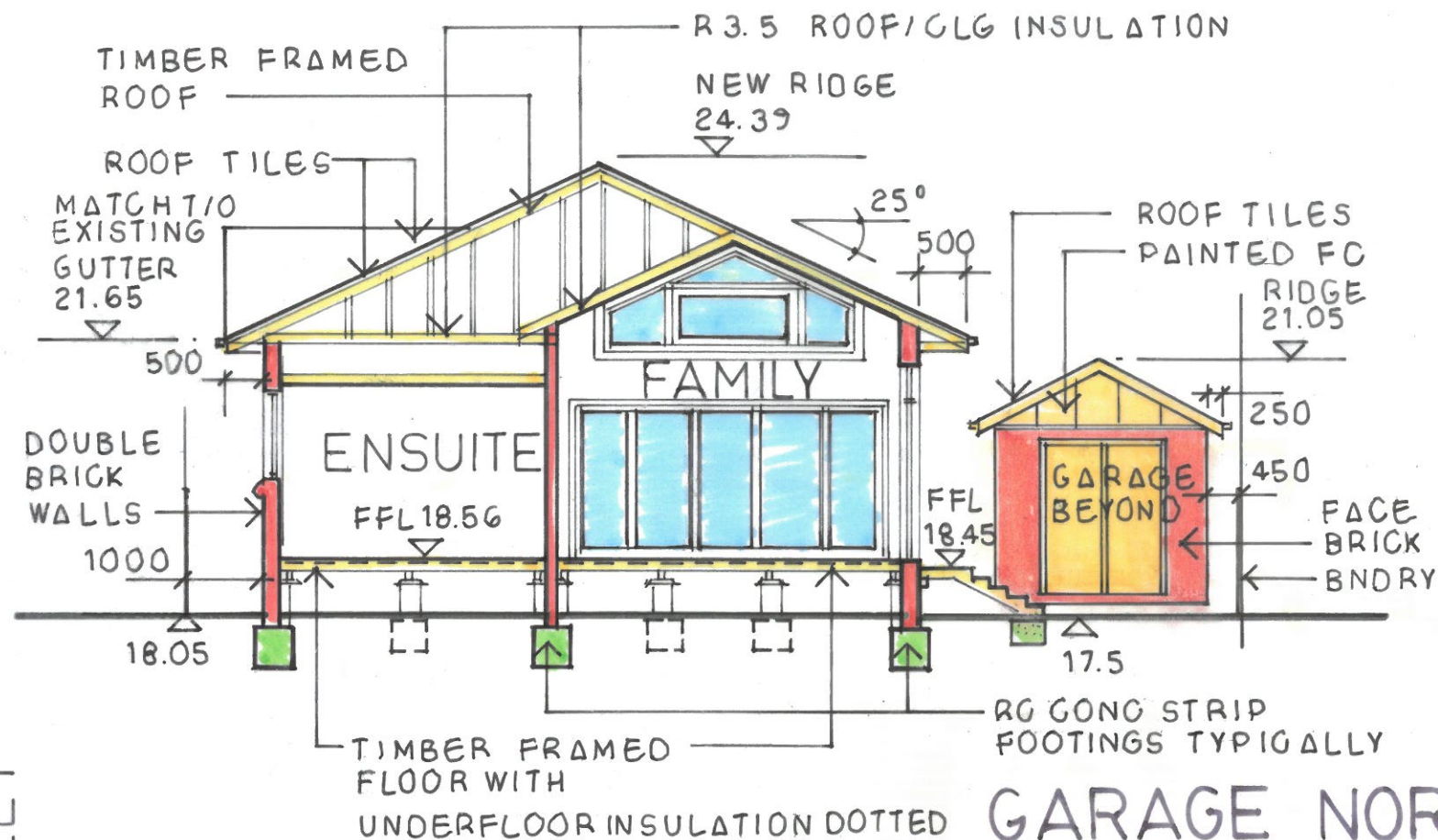
STEVEN ROUS+ASSOCIATES
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tele: 02 9798 2120 mob: 0413 256 368
email: architects@stevenrousassociates.com.au

Date: 15.07.22
Scale: 1:100

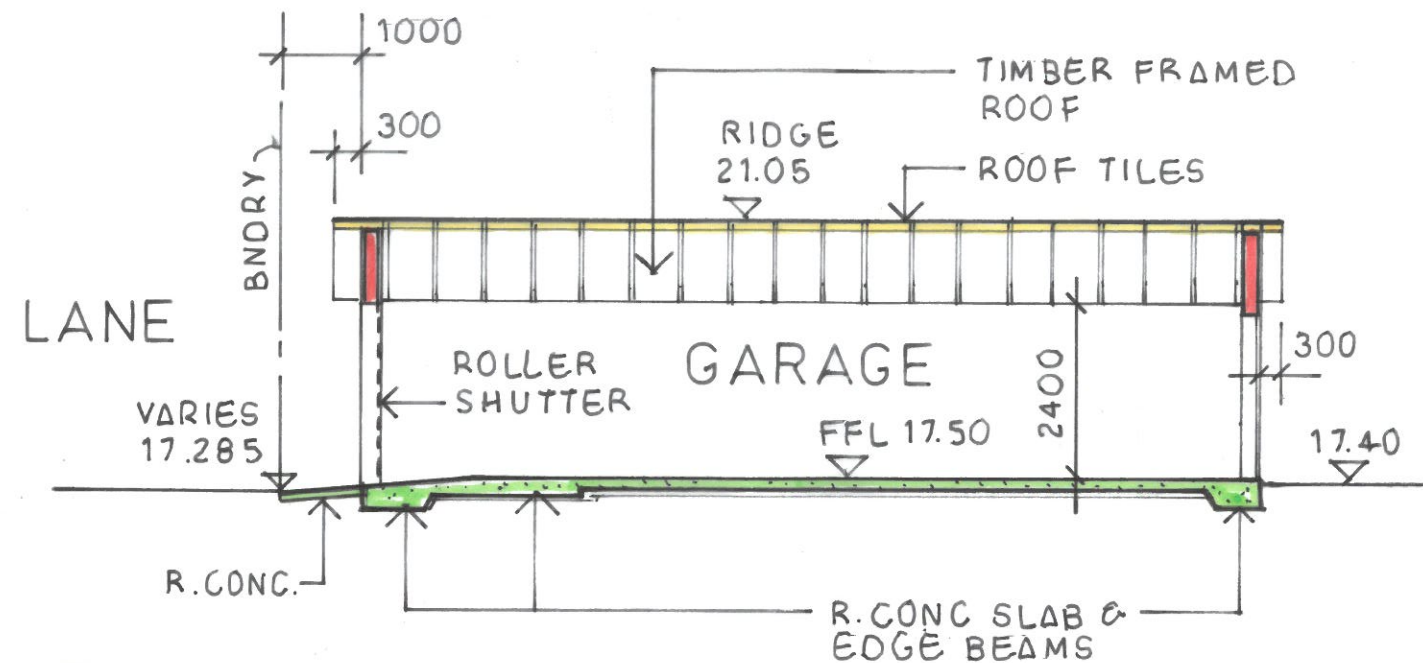
Dwg. No.
DA 02





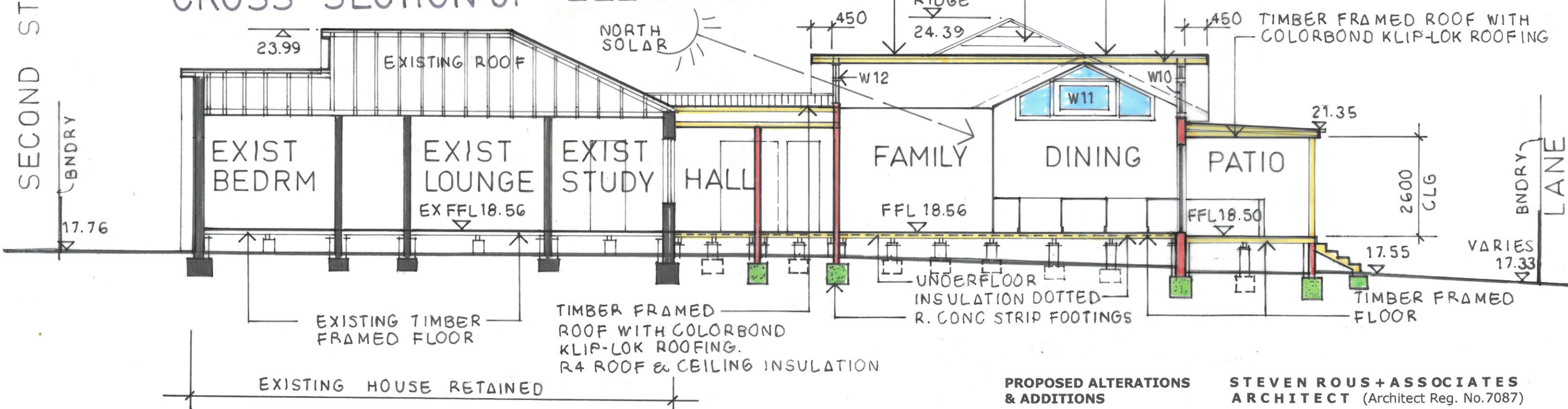
CROSS SECTION 01

GARAGE NORTH ELEVATION



GARAGE LONG SECTION

SECOND STREET



LONG SECTION 02

PROPOSED ALTERATIONS
& ADDITIONS

54 SECOND STREET,
ASHBURY NSW

For Mr & Mrs Fletcher

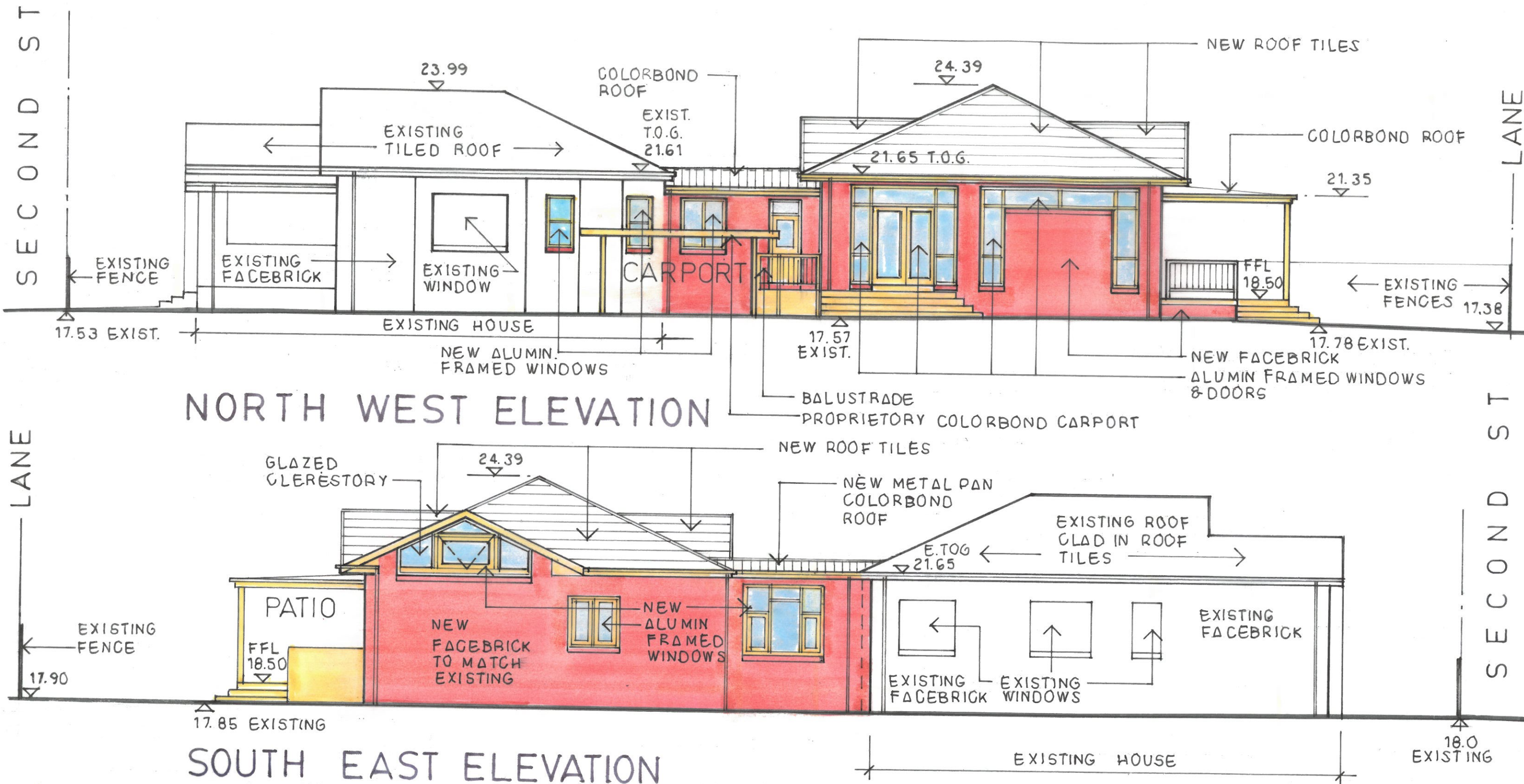
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Scale: 1:100

Dwg. No.
DA 04



Insulation requirements		
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m ² , b) insulation specified is not required for parts of altered construction where insulation already exists.		
Construction	Additional insulation required (R-value)	Other specifications
suspended floor with enclosed subfloor: framed (R0.7).	R0.60 (down) (or R1.30 including construction)	
external wall: cavity brick	nil	
flat ceiling, pitched roof	ceiling: R1.45 (up), roof: foil backed blanket (75 mm)	medium (solar absorptance 0.475 - 0.70)
raked ceiling, pitched/skillion roof: framed	ceiling: R2.24 (up), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)

PROPOSED ALTERATIONS & ADDITIONS

54 SECOND STREET,
ASHBURY NSW

For Mr & Mrs Fletcher

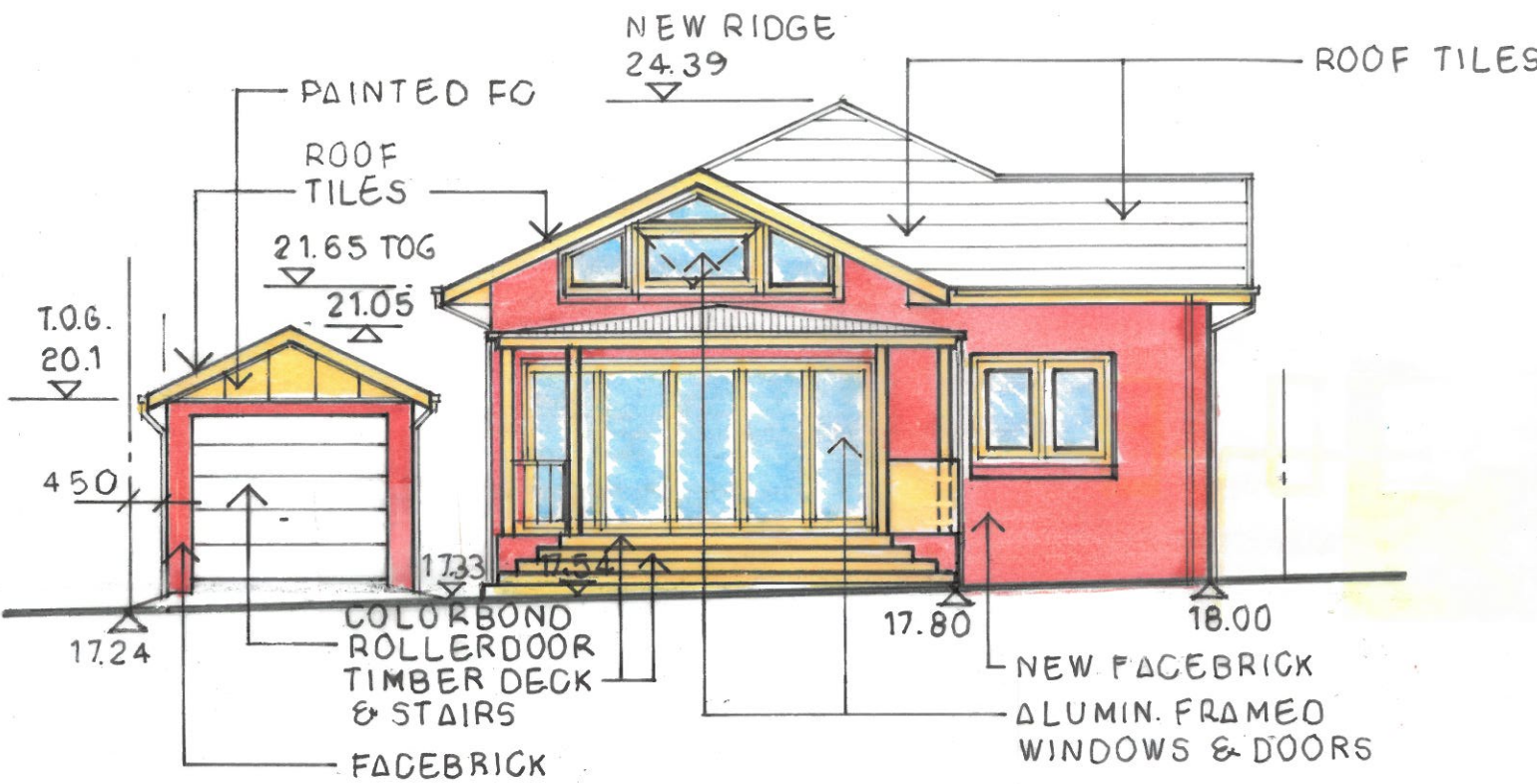
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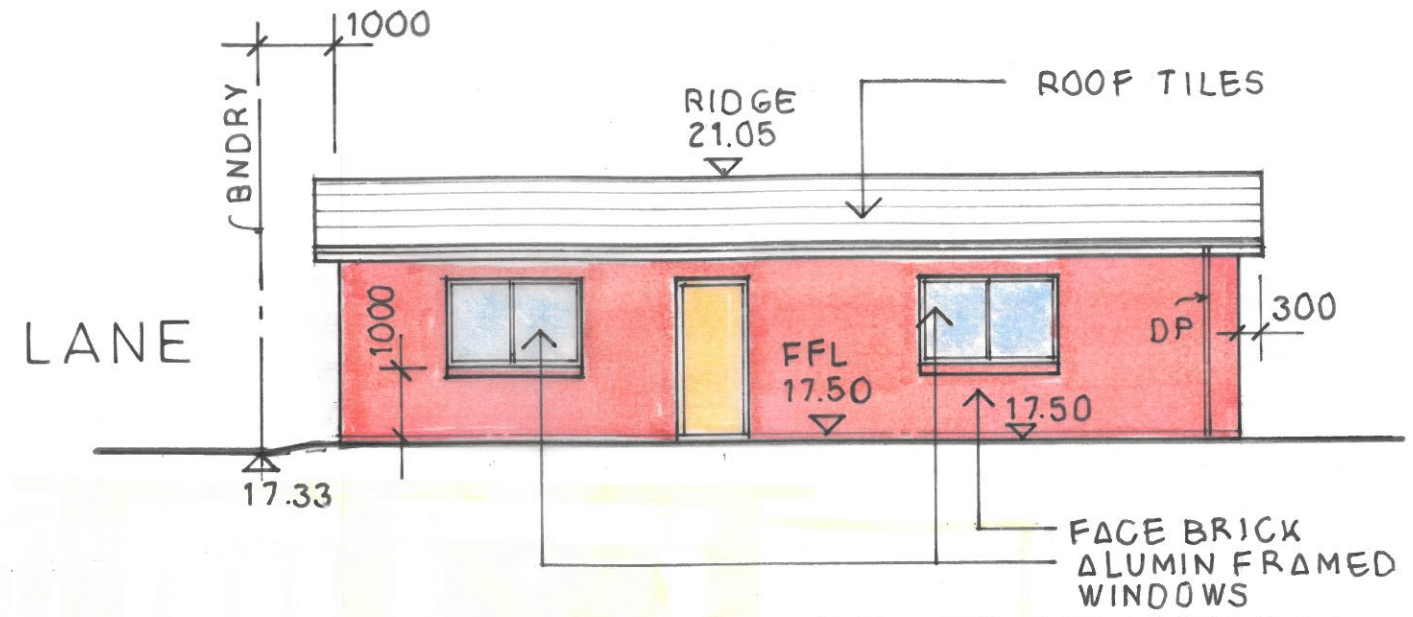
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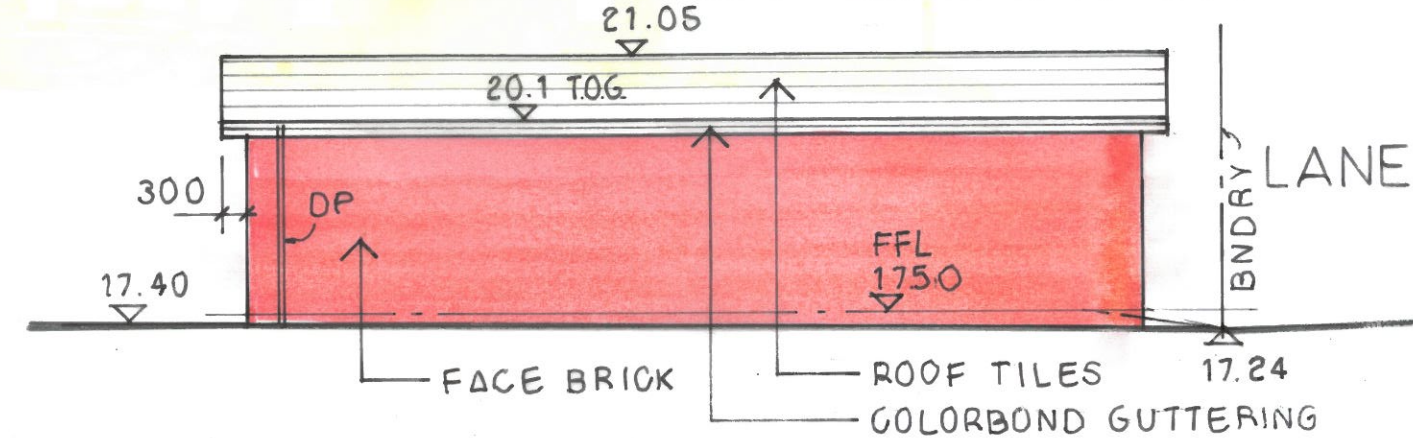
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DA 05



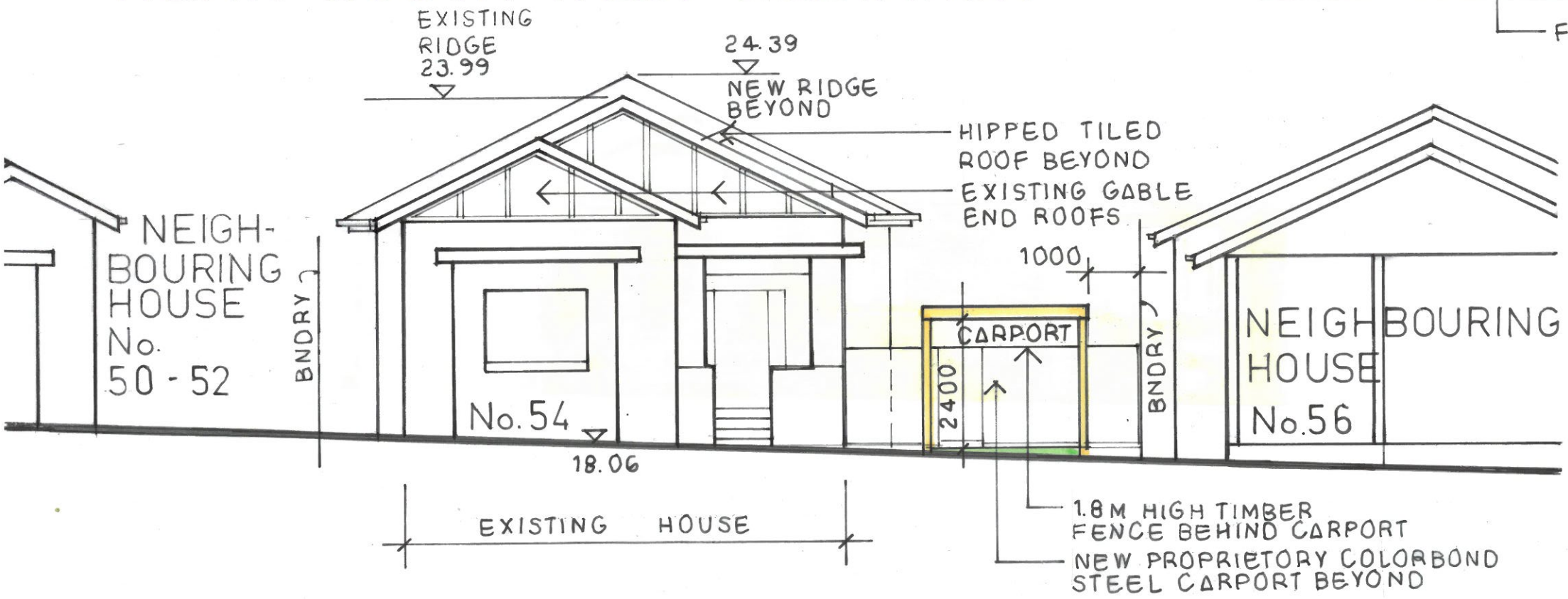
REAR SOUTH WEST ELEVATION



GARAGE EAST ELEVATION



GARAGE - WEST ELEVATION



STREET NORTH EAST ELEVATION
STREETSCAPE VIEW

PROPOSED ALTERATIONS
& ADDITIONS

54 SECOND STREET,
ASHBURY NSW

For Mr & Mrs Fletcher

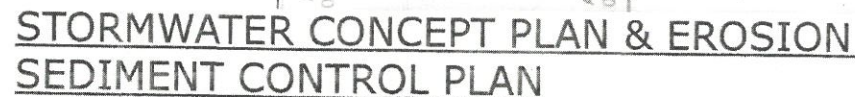
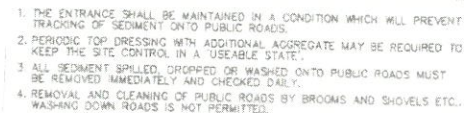
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ARCHITECT (Architect Reg. No.7087)

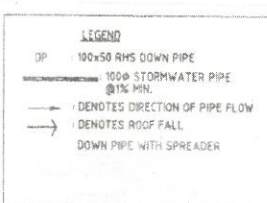
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Date: 15.07.22
Scale: 1:200

Dwg. No.
DA 06

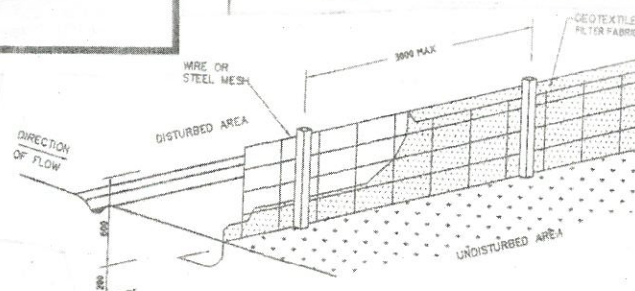


1. THIS DRAINAGE PLAN SHOULD BE READ STRICTLY IN ACCORDANCE WITH THE COUNCIL APPROVED ARCHITECTURAL PLANS
2. LOCATIONS OF DOWNPIPES TO BE CONFIRMED BY THE ARCHITECT
3. DATE AND LOCATION OF SERVICES TO BE ESTABLISHED PRIOR TO COMMENCEMENT OF DRAINAGE WORK
4. ALL GUTTERS TO BE MIN STRAIGHT "15 QUAD OR EQUIVALENT
5. ALL BALCONIES TO HAVE FLOOR WASTE CONNECTED TO DOWNPIPE
6. ALL DRAINAGE PIPES ARE TO BE UPVC GRADE, UNLESS NOTED OTHERWISE
7. THE MINIMUM COVER OVER ALL DRAINAGE PIPES IS TO BE 150mm.
8. ALL DRAINAGE PIPES ARE TO HAVE A MINIMUM PIPE GRADIENT OF 1%



EROSION CONTROL MEASURES

- [illegible]



SEDIMENT CONTROL DEVICES

1. ALL HAY BALES SHALL BE BOUND WITH WIRE. HAY BALES SHALL BE PLACED END TO END IN A SINGLE ROW AND EMBEDDED INTO THE SOIL TO A DEPTH OF 100mm. EACH BALE SHALL BE SECURELY ANCHORED WITH TWO STEEL STAKES DRIVEN 600mm INTO THE GROUND AND LOCATED ON THE BALE CENTERLINE.

SEDIMENT FENCE

1. TO BE USED AS A TEMPORARY BARRIER TO INTERCEPT SEDIMENT LADEN RUN-OFF FROM SMALL DRAINAGE AREAS
2. MAXIMUM DRAINAGE AREA FOR OVERLAND FLOW TO A SILT FENCE SHALL NOT EXCEED 0.6ha PER LINE OF FENCE.
3. DO NOT USE IF CONCENTRATED FLOW IS DIRECTED TO SILT FENCE
4. MAXIMUM ALLOWABLE DISTANCE BETWEEN SILT FENCE FOR VARIOUS GRADES LISTED BELOW:

SLOPE V:H	MAX. SLOPE LENGTH (m)
1:2	15
1:3	20
1:4	40
1:5	50
FLATTER THAN 1:5	80

PROPOSED ALTERATIONS & ADDITIONS

**54 SECOND STREET,
ASHBURY NSW**

For Mr & Mrs Fletcher

DEVELOPMENT APPLICATION
(@ COPYRIGHT)

STEVEN ROUS+ASSOCIATES
ARCHITECT (Architect Reg. No.7087)

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 email: architects@stevenrousassociates.com.au

Date: 05.09.22
Scale: 1:100

Dwg. No.
DA SW01

WINDOW & DOOR SCHEDULE / SKYLIGHT SCHEDULE

54 SECOND STREET, ASHBURY
ALTERATIONS & ADDITIONS
FOR: MR & MRS FLETCHER

WINDOWS & GLAZED DOORS & SKYLIGHTS						
NO.	LOCATION	TYPE	FRAME TYPE	FINISH	OPENING SIZE	REMARKS
W01	DINING	FOLDING DOORS	ALUMINIUM	POWDER COAT	4600 W X 2400 H	
W02	DINING	AWNINGS & FIXED	ALUMINIUM	POWDER COAT	850 W X 2600 H	
W03	DINING	AWNING	ALUMINIUM	POWDER COAT	3000 W X 450 H	NOTE: FOR ALL
W04	DINING	AWNINGS & FIXED	ALUMINIUM	POWDER COAT	850 W X 2600 H	GLAZED WINDOWS
W05	FAMILY	AWNINGS/ FRENCH DOORS	ALUMINIUM	POWDER COAT	3000 W X 2600 H	& DOORS,
W06	WC	AWNINGS OR SLIDING	ALUMINIUM	POWDER COAT	1310 W X 1200 H	GLASS IS TO STRICTLY
W07	BEDROOM 1	AWNINGS & FIXED	ALUMINIUM	POWDER COAT	2170 W X 1800 H	COMPLY WITH
W08	ENSUITE	AWNINGS OR SLIDING	ALUMINIUM	POWDER COAT	1330 W X 1300 H	AS1288 & BCA
W09	KITCHEN	AWNINGS OR SLIDING	ALUMINIUM	POWDER COAT	1930 W X 1400 H	COMPLIANCE
W10	DINING	AWNING/ FIXED CLERESTORY	ALUMINIUM	POWDER COAT	TRIANGULAR ON	
		TOTAL WINDOW AREA 2.6 M2			RECTANGLE	
					RECTANGLE 3600 W X 500 H/	
					1800 W X 900 H X 0.5 X 2	
W11	KITCHEN	AWNING/ FIXED CLERESTORY	ALUMINIUM	POWDER COAT	TRIANGULAR ON	
		TOTAL WINDOW AREA 2.6 M2			RECTANGLE	
					RECTANGLE 3600 W X 500 H/	
					1800 W X 900 H X 0.5 X 2	
W12	FAMILY	AWNING/ FIXED CLERESTORY	ALUMINIUM	POWDER COAT	TRIANGULAR ON	
		TOTAL WINDOW AREA 2.6 M2			RECTANGLE	
					RECTANGLE 3600 W X 500 H/	
					1800 W X 900 H X 0.5 X 2	
W13	STUDY	DOUBLE HUNG	TIMBER	PAINT	600 W X 1300 H	
W14	STUDY	DOUBLE HUNG	TIMBER	PAINT	600 W X 1300 H	
S1	HALLWAY	VELUX SKYLIGHT	ALUMINIUM	POWDER COAT	1600 X 750	
S2	WIR	VELUX SKYLIGHT	ALUMINIUM	POWDER COAT	900 X 600	
DATE: 22.10.22			ISSUE: A			PAGE 1 OF 1

steven rous + associates architects

ABN 13 627 811 217

09th September, 2022.

Canterbury – Bankstown Council
137 Beamish Street,
Campsie NSW 2194

MATERIALS & FINISHES COLOUR SCHEDULE

Ref: Proposed New Single Storey Alterations & Additions to rear of Existing Dwelling and New Single Car Garage to Rear side of Property.
Address: 54 Second Street, Ashbury.
Lot 42, DP 8054
Owners: Mr Leo Fletcher

Schedule of External Finishes & Materials to Dwelling Additions:-

- New face brick will be used to match and compliment existing face brickwork of existing house.
- New aluminium framed windows frames in powdercoat white to compliment existing windows of house.
- Roof tiles to be terracotta to compliment existing terracotta tiled roof.
- Colorbond metal pan roofing to be Colorbond "Woodland Grey".
- Colorbond finish gutters and downpipes to be Colorbond "Woodland Grey".
- Barge boards & Fascia boards in white paint finish to compliment white barge boards to front of house.

Schedule of External Finishes & Materials to Garage :-

- New face brick will be used to match and compliment existing face brickwork of existing house.
- New aluminium framed windows frames in powdercoat white to compliment existing windows of house.
- Roof tiles to be terracotta to compliment existing terracotta tiled roof.
- Colorbond finish gutters and downpipes to be Colorbond "Woodland Grey".

Schedule of External Finishes & Materials to Carport :-

Proprietary steel carport in Colorbond "Woodland Grey".

Page 1 of 1

architecture . interior architecture . project management

P.O. Box 467, Summer Hill NSW 2130 Tel: 02 9798 2120 Fax: 02 9799 6359
Principal: Steven Rous B. Arch (Hons) UTS RAIA Registered Architect
E:architects@stevenrousassociates.com.au